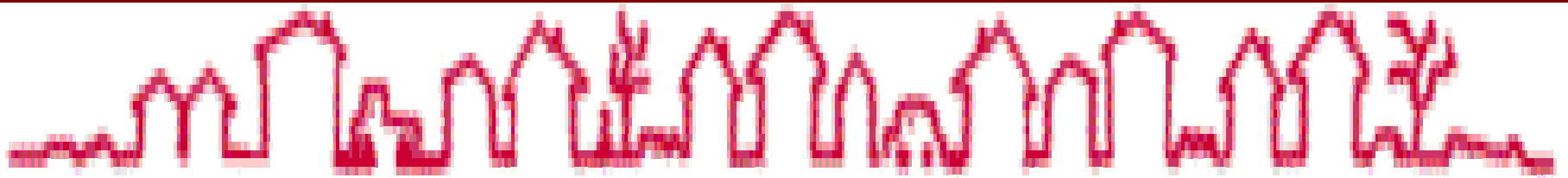


CITY OF WALKER
BUILDING DEPARTMENT
2008 ANNUAL REPORT



Welcome to the Building and Zoning Department of the City of Walker. This department works closely with all other city departments in the day-to-day development of our City. Most permits issued by the City of Walker are issued through this office. We have an office staff of one (1) full time, 1 part-time clerical position and an inspection staff of four (3) inspectors and a contractual agreement with the City of Grand Rapids for Electrical Inspections. We handle the plan review and issuance of all building, electrical, mechanical, plumbing, and storm water drainage permits. We also, interpret the zoning ordinance, the handling and scheduling of applications to the Zoning Board of Appeals, issuance of zoning related permits, and zoning temporary use permits (tent, sidewalk & Christmas tree sales). In 2001 the mayor appointed a Construction Board of Appeals, which now is a separate Board, which meets the new qualifications of the Building Code. We also act as the inspection arm for other City issued licenses, including; amusement parlors and mineral mining licenses, to name a few.

Each month the Mayor and Commissioners are provided a current activities report. This annual report will summarize all the monthly reports into one analysis of the department's functions along with showing the new residential, commercial, and industrial development in the City of Walker during 2008. This is achieved by using the comparative monthly analysis, with the previous five-(5) year's historical data to identify growth patterns within the City of Walker.

All activities and functions, in which the Building Department participates or controls, are outlined within this report. The new construction permit activities are outlined at the beginning; all of the other functions are addressed in the later portion of this report.

If you have any inquires or questions feel free to contact the department and we will make every attempt to provide you with the information you request or instruct you as to where you might seek or receive the additional information desired.

Sincerely,

Jeffrey L. Nelson
Building Official/Zoning Administrator

CHART 1

The chart below displays the number of permits issued and the total activity for years 2007 and 2008.

YEARS	RESIDENTIAL	# OF PERMITS	TOTAL \$ RECORDED FOR THE YEAR
2007	January-December	169	8,736,927
2008	January-December	192	5,026,628

YEARS	COMMERCIAL & INDUSTRIAL	# OF PERMITS	TOTAL \$ RECORDED FOR THE YEAR
2007	January-December	146	21,795,985
2008	January-December	86	13,016,379

Within the City limits of Walker, there are three (3) public school districts represented. There were 19 single family homes in 2008. There were homes started in (2) of the three (3) school districts. There were 10 started in the Kenowa Hills District, 9 started in the Grandville District and 0 started in Comstock Park.

CHART 2

Chart 2 displays the number of single family developments and the total dollar value and average dollar value of the new residential family houses in 2005 through 2008.

2008

YEAR	MONTH	NO. OF NEW HOMES	TOTAL DOLLAR VALUE	AVERAGE DOLLAR
2005	Jan-Jun	72	9,447,520.00	131,215.56
	Jul-Dec	29	3,504,000.00	120,827.59
2006	Jan-Jun	40	6,413,000.00	160,325.00
	Jul-Dec	17	2,921,000.00	171,823.53
2007	Jan-Jun	18	3,094,000.00	171,888.89
	Jul-Dec	15	2,588,000.00	172,533.00
2008	Jan-Jun	12	2,009,000.00	167,416.67
	Jul-Dec	7	1,194,500.00	170,643.00

CHART 3

By examining Chart 3, a total of 19 single family houses were constructed in 2008, this is a decrease of \$3,577.00 . The average house size increased 70 square feet.

YEAR	UNITS	TOTAL \$ AMOUNT FOR SINGLE FAMILY HOUSES	AVERAGE DOLLAR PER UNIT	AVERAGE SQUARE FOOTAGE
2005	101	12,951,520.00	128,232.87	1,761
2006	57	9,334,000.00	163,754.39	2,195
2007	33	5,682,000.00	172,182.00	2,142
2008	19	3,203,500.00	168,605.00	2,212

CHART 4

As the number of single family residences constructed in the City of Walker were 19 in 2008, surrounding communities found 2008 to be a year that brought decreases in housing activity.

CITY/TOWNSHIP	2005	2006	2007	2008
Cascade	112	69	59	25
Georgetown	229	112	81	44
Grand Rapids	133	203	59	51
Grandville	18	10	5	5
Kentwood	111	106	97	62
Plainfield	212	93	59	50
Walker	101	57	33	19
Wyoming	130	77	62	37

CHART 5

	2007			2008		
	# Permits	Fees	Dollar Value	# Permits	Fees	Dollar Value
One-family houses	33	30,035	5,682,000	19	17,187	3,203,500
Two-family house	-	-	-	-	-	-
Mobile Home	8	280	****	16	1,250	****
Multi-family	-	-	-	-	-	-
Condominiums	13	9,900	1,533,000	4	1,506	215,000
Foundation only	-	-	-	-	-	-
Remodel or addition	17	2,742	367,400	16	3,155	445,550
Aluminum/siding	3	225	12,000	1	60	6,000
Garages	1	85	6,000	2	195	16,300
Carports	-	-	-	-	-	-
Decks & Accessory	28	3,630	291,700	32	3,013	246,562
Swimming pools	20	2,475	266,300	9	790	58,600
Repair/fire damage	2	360	50,000	1	80	5,000
Miscellaneous	44	44	5,186	92	10,101	830,116
TOTALS	169	49,776	8,213,586	192	37,337	5,026,628

**** A dollar value is not required for mobile homes the fee increased from \$35.00 to \$150.00 for mobile homes in a mobile home park.

CHART 6

The following summary is a list of residential development, condominiums and the new multi family plats for 2007 and 2008 with year approved and number of lots in each plat.

PLAT NAME	YEAR APPROVED	# OF LOTS
Summerbrooke Estates	2007	1-25
Meadow Springs	2007	1-28
Bristol Ridge #2	2008	8

CHART 7

Chart 7 lists the number of condominium units constructed, the total value of each year and the average value of each unit.

YEAR	# OF UNITS	TOTAL \$ VALUE UNITS	AVERAGE DOLLAR VALUE
2005	31	2,933,000.00	94,612.90
2006	15	1,694,790.00	112,986.00
2007	13	1,533,000.00	117,923.08
2008	4	215,000.00	53,750.00

CHART 8

Chart 8 displays a 2007-2008 comparison showing each line item with the recorded dollar values and Chart 9 displays the total permits and dollars for the previous five year period.

COMMERCIAL AND INDUSTRIAL DOLLAR VALUE COMPARISON FOR 2007 AND 2008

	2007 # OF PERMITS	2007 FEES	VALUE IN DOLLARS	2008 # OF PERMITS	2008 FEES	VALUE IN DOLLARS
Comm. new	8	22,836	3,753,494.00	3	17,532	2,895,000.00
Comm. Storage	-	-	-	-	-	-
Comm. Fndt.	1	174	20,000.00	1	354	50,000.00
Comm. Rmdl/Add	26	25,410	4,062,700.00	11	6,696	906,700.00
Comm Demo	2	200	-	1	100	****
Comm Misc.	13	4,068	560,100.00	11	2,166	260,321.00
Ind. New	6	35,466	5,855,500.00	2	7,038	1,154,100.00
Ind. Fnd	4	13,080	2,142,600.00	-	-	-
Ind. Rmdl/Add	11	39,540	4,499,447.00	3	5,946	963,100.00
Ind. Misc.	13	3,384	445,084.00	16	39,744	6,502,135.00
Ind. Demo.	-	-	-	4	825	****
Signs	62	6,046	457,060.00	34	3,846	285,023.00
Temp. Structure	-	-	-	-	-	-
Total	146	150,204	21,795,985.00	86	84,247	13,016,379.00

**** THE FOLLOWING IS A LIST OF FEES FOR DEMOLITION PERMITS:

- One and two family residential - \$175.00 (per building)
- Multi-family residential - \$200.00 (per building)
- Non-residential buildings - \$100.00 (per building)

5 YEAR COMPARISON OF DOLLAR VALUES FOR NEW CONSTRUCTION-RES, COMM & IND

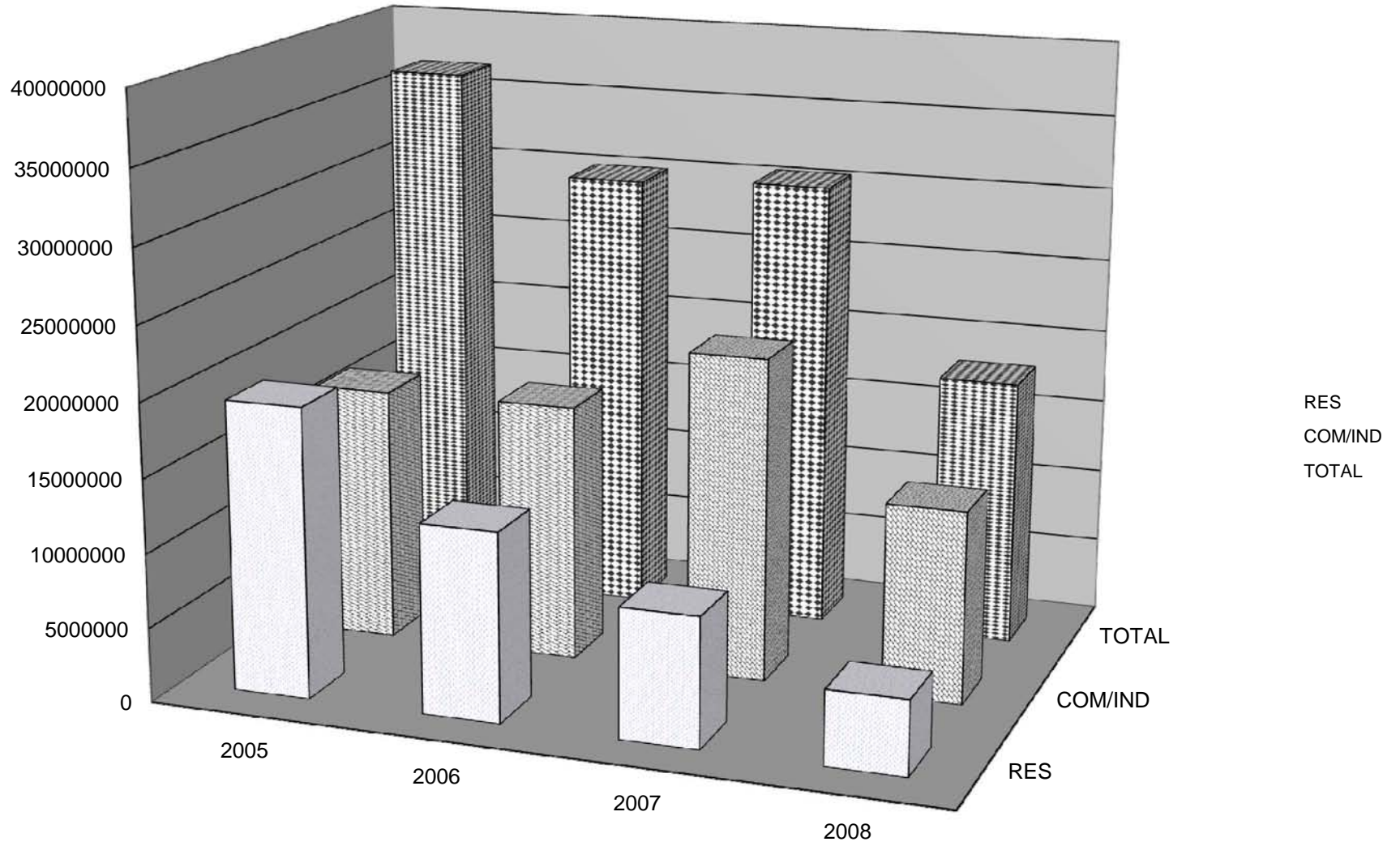


CHART 10

4 YEAR COMPARISON OF DOLLAR VALUES FOR MECHANICAL, ELECTRICAL, PLUMBING AND STORM SEWER

YEARS	# OF MECHANICAL PERMITS	TOTAL FEES COLLECTED	# OF ELECTRICAL PERMITS	TOTAL FEES COLLECTED	# OF PLUMBING PERMITS	TOTAL FEES COLLECTED	# OF STORM SEWER PERMITS	TOTAL FEES COLLECTED
2005	379	41,129.24	420	43,931.70	228	38,758.40	11	895.00
2006	365	51,788.63	388	56,980.55	208	38,258.10	13	615.00
2007	284	36,615.30	317	48,440.00	151	24,475.00	11	780.00
2008	248	26,554.25	248	31,088.75	107	14,702.00	5	250

CHART 11

The Chart 11 is a list of the services rendered by the Building Department from 2005 through 2008 and the fees generated by each.

SERVICES	2005	2006	2007	2008
Building Permits	165,792.00	162,252.00	205,121.50	121,484.00
Mechanical Permits	41,129.24	51,788.63	36,615.30	26,554.25
Electrical Permits	43,931.70	56,980.55	48,390.00	31,088.75
Plumbing Permits	38,758.40	38,258.10	24,483.00	14,702.00
Storm Water Permits	895.00	480.00	830.00	250.00
Building Cont. Reg.	1,880.00	1,890.00	2,565.00	2,445.00
Plumbing Cont. Reg.	750.00	690.00	730.00	990.00
Mechanical Cont. Reg.	390.00	415.00	1770***	3,630.00
Electrical Cont. Reg.	1,400.00	1,505.00	1,860.00	3,300.00
Storm Sewer Cont. Reg.	-	-	-	10.00
ZBOA	5,400.00	4,950.00	4,200.00	4,050.00
BCBOA	-	250.00	-	250.00
Mineral Mining	5,500.00	5,000.00	5,000.00	5,000.00
Temporary Use Permits	4,650.00	3,550.00	3,000.00	3,250.00
Mobile Home	560.00	210.00	280.00	1,250.00
Certificate of Occupancy	-	200.00	-	-
Deposits Withheld				
Total	311,036.34	328,419.28	333,074.80	218,254.00

*** The Mechanical Contractors registration expires every 3 years

CHART 12

In May of 2003 a 10% Plan Review fee was implemented for all commercial, industrial, multi-family and single family homes over 3,500 square feet.

In May of 2006 the Plan Review Fees were adjusted to the following:

Commercial	Industrial	Multi-family	New Homes	New Condominiums	New Duplexes	Elect/Mech Plumbing
25%	25%	25%	15%	15%	15%	15% will be charged for all commercial, industrial, multi-family projects and for single family homes over 3,500 square feet.

	2005		2006		2007		2008	
	# Of Permits	Fees Collected	# Of Permits	Fees Collected	# Of Permits	Fees Collected	# Of Permits	Fees Collected
Building	127	8,275.20	140	22,586.45	201	43,826.00	112	23,616.00
Electrical	18	567.20	30	1,625.55	26	1,674.65	16	861.35
Mechanical	25	574.79	48	1,124.23	34	1,479.32	29	916.83
Plumbing	10	328.50	15	556.10	16	739.65	11	420.90
Totals	180	9,745.69	233	25,892.33	277	47,719.62	168	25,815.08

ENFORCEMENT LIST

2005 # OF CODE ENFORCEMENTS	2006 # OF CODE ENFORCEMENTS	2007 # OF CODE ENFORCEMENTS	2008 # OF CODE ENFORCEMENTS	#RESOLVED	#UNRESOLVED
134	124	209	432	413	19